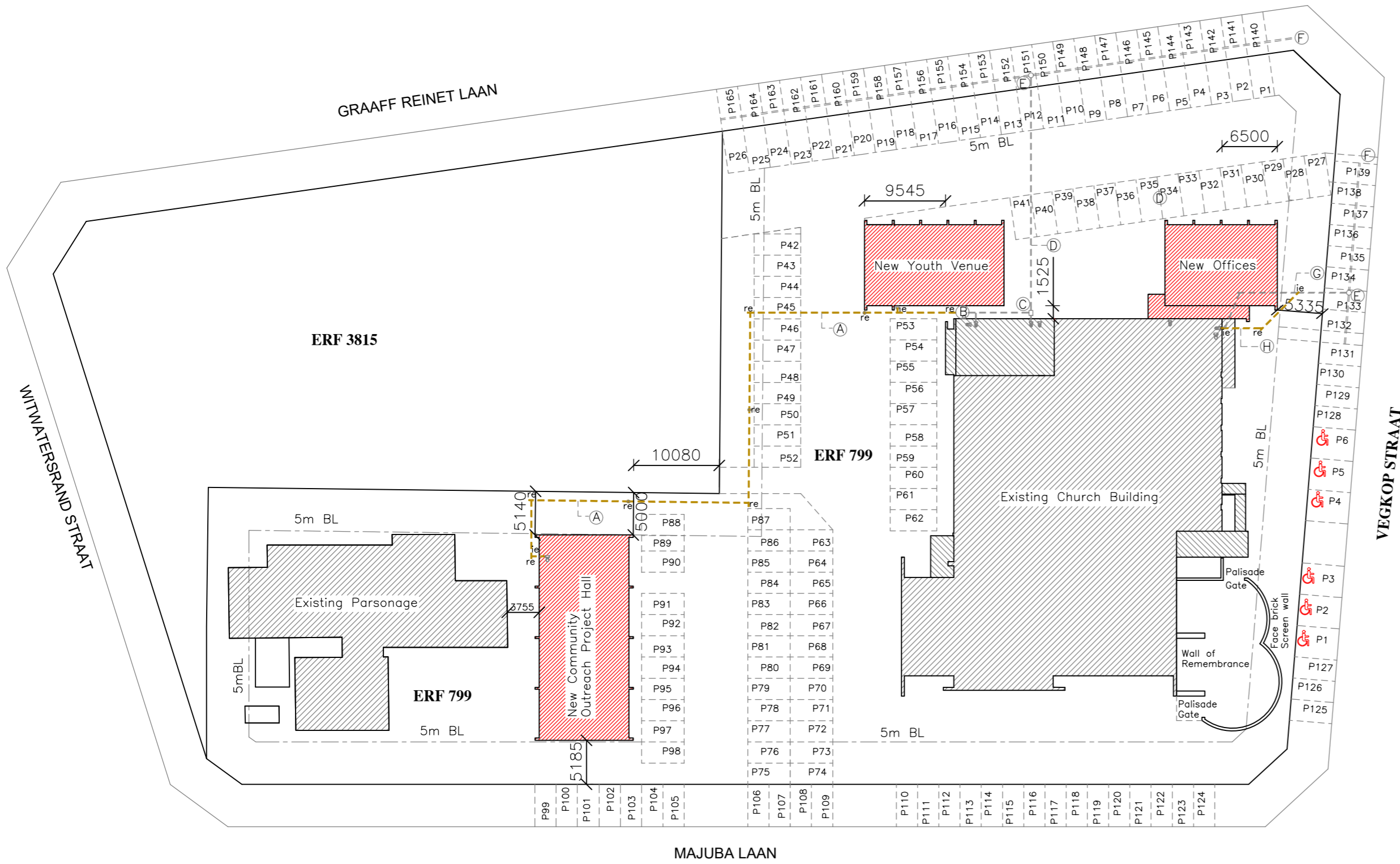


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Note: Installation of New sewerage system & diversion of existing sewerage system

- A Sewerage system of New Community Outreach Project Hall to be connected to existed sewerage system
Fall @ @1:60 to be maintained
Rodding eyes to be installed at max 15m along sewerage line and at change of direction
- B Sewerage Connection point of New Community Outreach Project Hall to existing sewerage system of Church building
- C Existing manhole on Erf 799
- D Existing internal sewerage line of existing sewerage system
- E Municipal sewerage connection point
- F Municipal sewer line
- G Existing sewerage pipe underneath New Administration Offices to be diverted as indicated at H
- H New diverted sewerage pipe of existing Church building @ fall 1:60 at all times to be maintained



Area Schedule

Existing Buildings		O Applicable in calculation	
No	Description	Size sqm	Coverage Floor Factor
1	Main Church Building	293.35	o o
2	Gallery	52.15	o
3	Choir Gallery	16.88	o
4	Mother & Bay room	22.16	o
5	Hall	223.6	o o
6	Stage in Hall	79.16	o o
A	Sub Total A	687.30	618.27 687.30
7	Consistory	45.80	o o
8	Offices 1 & 2	45.80	o o
9	Office 3 to 5	60.97	o o
10	Sunday School classes	83.62	o o
11	Kitchen	73.23	o o
12	Enclosed Court Yard	141.18	o o
13	Youth Venue	50.36	o o
14	Toilets 1	25.60	o o
15	Toilets 2	13.44	o
16	Toilets 3	15.36	o
B	Sub Total B	555.36	430.40 555.36
17	Portal / Passage 1	72.83	o o
18	Portal / Passage 2	26.05	o o
19	Passage 3	37.10	o o
20	Portal / Passage 4	3.22	o o
21	Passage 5	48.04	o o
22	Passage 6	57.37	o o
C	Sub Total C	244.61	244.61 244.61
23	Staircase 1	8.80	o o
24	Staircase 2	7.95	o o
25	Staircase 3	7.34	o o
26	Staircase 4	6.27	o o
D	Sub Total D	30.36	30.36 30.36
27	Covered Entrance Stoep 1	25.74	o
28	Covered Entrance Stoep 2	9.07	o
29	Covered Entrance Stoep 3	11.78	o
E	Sub Total E	46.59	46.59 0
30	Storeroom 1	9.59	o o
31	Storeroom 2	41.19	o o
F	Sub Total F	50.78	9.59 50.78
G	Total Church Building	1615	1379.82 1568.41
1	Parsonage	372.28	o o
2	Motor vehicle Garages	42	o
H	Total Parsonage	414.28	414.28 372.28
I	Total Existing	2029.28	1794.1 1940.69
Proposed New Extensions			
1	Administration Offices	126.38	
2	Interlinking Passage	20.88	o o
3	Uncovered Ramp for Disabled	12.24	
4	Youth Hall / Venue & Storeroom	157.17	o o
5	Community Outreach Project Hall	242	o o
H	Total New Extensions	558.67	546.43 546.43
I	Grand Total Existing & New Extensions	2587.95	2340.53 2487.12
Coverage / Floor Factor - Parking Calculations			
1	Site	7684.38	30.46% 0.32
2	Zoning		Community Zone II (CZII)
3	Parking on Church premises (P1-P98)	98	
4	Existing parking on side walk (P99-P165)	67	
5	Total Ordinary Parking	165	
6	Additional Parking for Disabled	6	
7	Total Parking	171	
8	Church seats	800	

NG Kerk Hartenbos Eindomskommisjie
Ontwerp & Tekon Sub Komitee

Project Title
NG Kerk Hartenbos
Extensions & Alterations
Building Classification – A4
Erf 799
Cnr Majubalaan & Vekkopweg
Hartenbos
Mosselbaai – Western Cape

Client
NG Kerk Hartenbos

Project Drawing
Site Plan
Area Schedule

Project Plan Status
Council Drawings
Architectural Construction Drawings

Scale
1:500

Client
NG Kerk Hartenbos

Signature: Date: 2024-04-17
K. van Tonder
Chairperson Property Commission

Design Team
Professional Architectural Professionals

Signature: Date: 2024-04-17
Paul J. du Plessis Argitek
SACAP Reg. PrArch 664
082 636 5413
email: paulduplessis34@gmail.com

Signature: Date: 2024-04-17
Nico Fourie
SACAP Reg. PrArchTech T1495
082 468 7699
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Signature: Date: 2024-04-17
Nico Fourie
SACAP PrArchDraught with LSD Exemption
D0333
082 782 5108
email: nicofouriearch3@gmail.com

Professional Engineer
As Appointed per SANS 10400 – Form 2

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General Notes

- Quality of all materials and workmanship to comply with relevant SABS standards, National Building regulations, SANS and NHBRC specifications.
- Contractor is responsible for the correct setting out of the building, all external and internal walls with specific reference to boundaries and building line restrictions.
- Dimensions not to be scaled from drawing.
- In case any doubt exist contact draughts person / architect before putting hand to work or continuing with work.
- Figured dimensions to be used and checked on Site.
- Contractor to verify all levels, and heights against drawing before putting hand to work.
- All building lines, servitudes, existing structures and trees / plants to be identified on site
- All architectural drawings, consulting drawings and Engineer drawings to be read together.
- Contractor responsible to confirm inspections with Local Authority, Engineers and other Professionals in advance.
- Work not to be put to hand or continued before go ahead is given after completion of Site inspections
- All services to be verified on the site before putting work to hand
- Draining directions, depth & connection points for sewerage, electricity and water to be verified on site.

Foundations - SANS 10400-H

- Foundations to meet standards as prescribed in SANS 10400-H
- Inspections on all foundations as prescribed by Professional Engineers and Local Council.
- All foundations strictly according to Engineer's specifications.

FLOORS - SANS 10400-J

- Floors to meet standards as prescribed in SANS 10400-J
- All floors strictly according to Engineer's specifications where applicable.

WALLS - SANS 10400-K

- Walls to meet standards as prescribed in SANS 10400-K
- Solid masonry units to be used for inner inner walls and areas not covered by face bricks.
- Face bricks all outer walls above NGL and inner walls indicated on Elevations
- Brickforce min. 2.8mm and max. 3.55mm to be used in masonry units.
- Cavity walls to have cavity of 60mm in between of brickwork.
- Cavity walls tied to each other with wall ties to leave cavity of min. 50mm
- DPC (damp proof course) 250 micron to be placed on concrete slab and first layer of brickwork.
- DPC (damp proof course) to be placed under all window sills.
- Rolled face brickwork over door and window openings.

ROOFS - SANS 10400-L

- Roofs to meet standards as prescribed in SANS 10400-L
- Pre manufactured roof trusses according to Specialist specifications.
- Roof pitch @ 15°
- Underlay membrane to be placed under roof roof sheeting and purlines.
- IBR Chromadek roof sheeting Charcoal color.
- Roof construction strictly according to Manufacturer's specifications

STAIRWAYS - SANS 10400 - M

- Stairways to meet standards as prescribed in SANS 10400-M
- Concrete staircase according to Engineer's specifications.
- Headroom at any point of the staircase to be min. 2100mm
- Tread of steps min. 270mm
- Riser of steps max. 170mm
- Stainless steel balustrade on open side of staircase.

GLAZING - SANS 10400 - N

- GLAZING to meet standards as prescribed in SANS 10400-N, SANS 0137 & 1263-200 & AAAMSA.
- Glass lower than 500mm from FFL to be safety glass
- Glazing as indicated in window and Door schedule

DRAINAGE - SANS 10400-P

- Drainage to meet standards as prescribed in SANS 10400-P and to comply with Local authority Bylaws and specifications,
- All plumbing and drainage systems to be installed by a registered plumber
- Certificate of Compliance to be issued by such plumber.
- All levels and fall of NGL to be checked on site.
- No sewer waste pipes (SWP) or water waste pipes (WWP) to change direction under concrete slabs.
- Rodding eyes (RE) to be installed at change of direction exceeding 45°
- Rodding eyes (RE) along the drain system not to exceed 25m.
- Rodding eye (RE) not to exceed 1.5m of the connecting sewer point.

FINISHES

- All finishes to be confirmed by Client before ordering and hand put to work.
- Electrical fittings to be Client's choice.
- Only SABS approved equipment and material to be used.
- Final measurements for windows, doors, cub boards, kitchen and bath room equipment to be checked on site before ordering and manufacturing.
- Cobble paving to be laid min. 600mm around all buildings

ENERGY USAGE IN BUILDINGS

- SANS 10400 - XA** Edition 2
Energy Usage of each Building indicated on individual building plans

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**NG Kerk Hartenbos Eindomskommissie
Ontwerp & Teken Sub Komitee****Project Title**

NG Kerk Hartenbos
Extensions & Alterations
Building Classification – A4
Erf 799
Cnr Majubalaan & Vegkopweg
Hartenbos
Mosselbaai – Western Cape

Client

NG Kerk Hartenbos

Project Drawing

Construction Notes

Project Plan Status

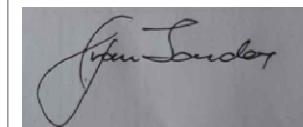
Council Drawings
Architectural Construction Drawings

Scale

N/a

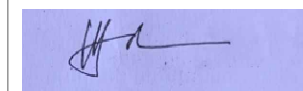
Client

NG Kerk Hartenbos



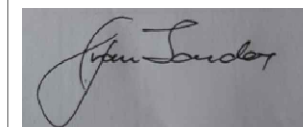
Signature
K. van Tonder
Chairperson Property Commission

2024-04-17
Date

Design Team**Professional Architectural Professionals**


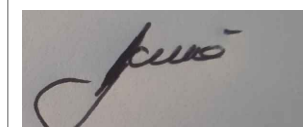
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2024-04-17
Date

Professional Engineer

As Appointed per SANS 10400 – Form 2

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Act 98 of 1998

P2/9

WINDOW SCHEDULE

Window number W01	Window number W02/W03/W04/W05	Window number W06	Window number W07
Viewed from Inside	Viewed from Inside	Viewed from Inside	Viewed from Inside
Location Office no. 5	Location Offices 1 to 4	Location Records office	Location Reception Area
Orientation South	Orientation North	Orientation West	Orientation South
Ironmongery As per Manufacturer	Ironmongery As per Manufacturer	Ironmongery As per Manufacturer	Ironmongery As per Manufacturer
Type Aluminum	Type Aluminum	Type Aluminum	Type Aluminum
Color Bronze	Color Bronze	Color Bronze	Color Bronze
Fenestration Area 3.87sqm	Fenestration Area 3.87sqm (x4)	Fenestration Area 1.55sqm	Fenestration Area 2.7sqm
Glass Double clear	Glass Double clear	Glass Double clear	Glass Double clear

DOOR / WINDOW COMBINATION SCHEDULE

Door/Window number D01	Door/Window number D02	Door number D03	Door number D05 & D07	Door number D04/D6 & D8
Viewed from Inside	Viewed from Inside	Viewed from Inside	Viewed from Inside	Viewed from Inside
Location LH/RH Left Hand - LH	Location LH/RH Left Hand - LH	Location LH/RH Right Hand - RH	Location LH/RH Left Hand - LH	Location LH/RH Right hand - RH
Location Storeroom	Location Reception Area	Location Passage	Location Office	Location Office
Orientation East	Orientation N/a inside door	Orientation West	Orientation N/a inside door	Orientation N/a inside door
Ironmongery As per Manufacturer	Ironmongery As per Manufacturer	Ironmongery As per manufacturer	Ironmongery As per Client	Ironmongery As per Client
Door frame Aluminum	Door frame Aluminum	Door frame Aluminum	Door frame Meranti wood	Door frame Meranti wood
Door Glass	Door Glass	Door Glass	Door Meranti wood	Door Meranti wood
Color Bronze	Color Bronze	Color Bronze	Color Dark brown varnish	Color Dark brown varnish
Fenestration Area 3.11sqm	Fenestration Area 3.51sqm	Fenestration Area 3.35sqm	Fenestration Area N/a	Fenestration Area N/a
Glass Double clear - safety	Glass Double clear - safety	Glass Double clear - safety	Glass Double clear - safety	Glass Double clear - safety

DOOR SCHEDULE

Door number D03	Door number D05 & D07	Door number D04/D6 & D8
Viewed from Inside	Viewed from Inside	Viewed from Inside
Location LH/RH Right Hand - RH	Location LH/RH Left Hand - LH	Location LH/RH Right hand - RH
Location Passage	Location Office	Location Office
Orientation West	Orientation N/a inside door	Orientation N/a inside door
Ironmongery As per manufacturer	Ironmongery As per Client	Ironmongery As per Client
Door frame Aluminum	Door frame Meranti wood	Door frame Meranti wood
Door Glass	Door Meranti wood	Door Meranti wood
Color Bronze	Color Dark brown varnish	Color Dark brown varnish
Fenestration Area 3.35sqm	Fenestration Area N/a	Fenestration Area N/a
Glass Double clear - safety	Glass Double clear - safety	Glass Double clear - safety

ELECTRICAL LEGENDS

- Ceiling fitted light
- Outside wall mounted light
- Fluorescent light
- Light switch
- Wall plug
- DB - board
- Day/night switch

ENERGY USAGE IN BUILDINGS SANS 10400 - XA Edition 2
 Energy Zone: 4
 Longitude: (°E) - 22.110
 Latitude: (°S) - 34.129
 Multiplier for Shading projection: 0.54
 Southern Cape Condensation Problem Area: Y
 Maximum energy consumption 40 (kwh/m²/a)
 Maximum annual demand intensity 16 (VA/m²)

Orientation
 Fenestration Areas per orientation
 North: 15.48m²
 East: 3.11m²
 West: 4.9m²
 South: 6.57m²
 Total N/E/W: 23.49m²

Orientation of major windows: North

Shading
 Shading feature/device: fascia board do not meet minimum required distance
 Roll up blinds to all windows to restrict min. 80% of summer solar radiation - 800W/m² to ensure compliance.

Fenestration
 Building Envelope: 126.38m²
 Fenestration Area: 30.06m²
 Percentage Fenestration Area: 22.79%
 Fenestration Area - E/N/W: 23.49m²
 Percentage Fenestration Area: 18.58%
 Certified Performance U values for windows:
 Max. 5.2 W/m²K
 Solar Heat Gain Coefficient:
 Any solution
 Aluminum coated window & door frames and doors with East to West orientation
 Double clear
 U Value 4.3 W/m²K
 SHGC: 0.64
 Status: Compliant

Floors
 Not applicable

External Walls
 External walls with surface density equal or greater than 270kg/m² to have an thermal resistance (R) value of 0.6m² K/W with a min. 50mm cavity wall.

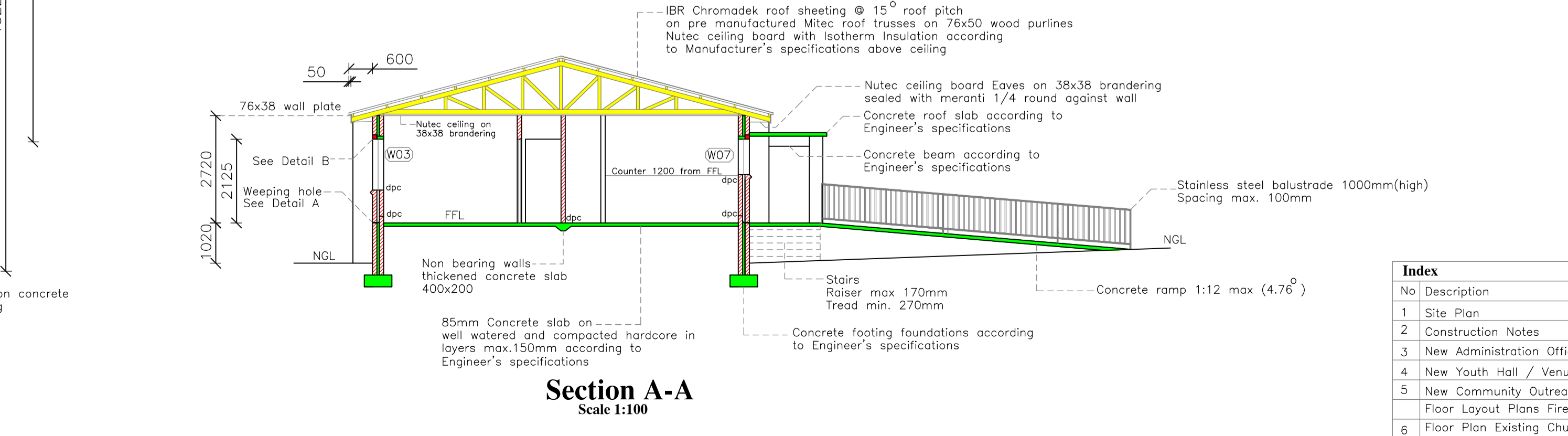
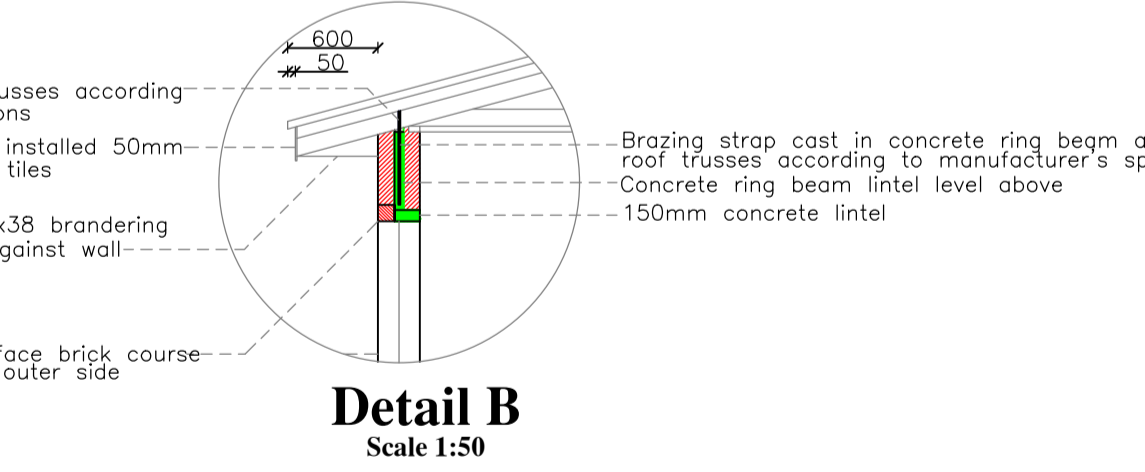
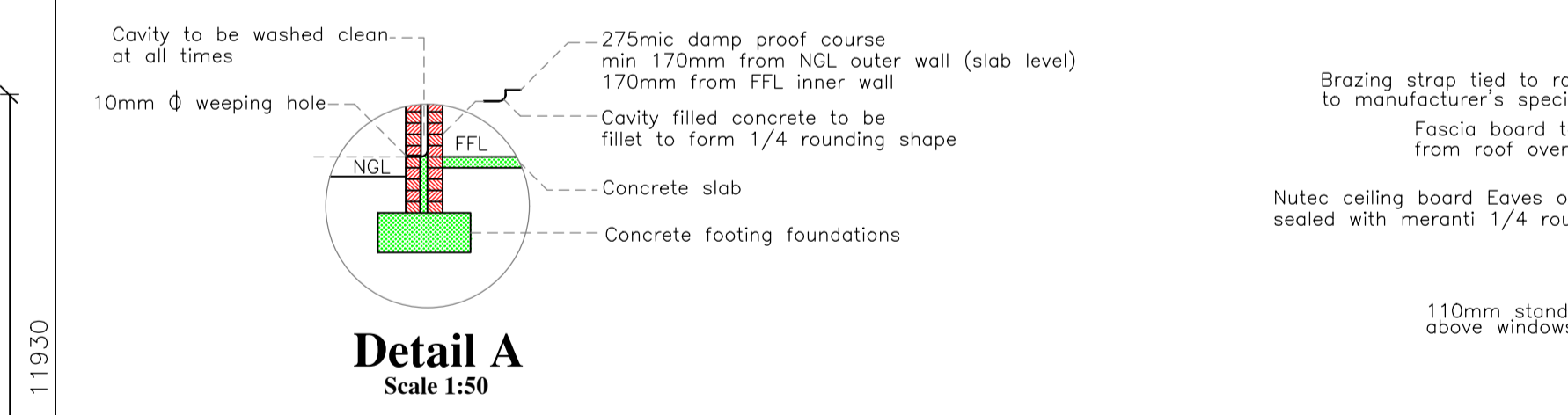
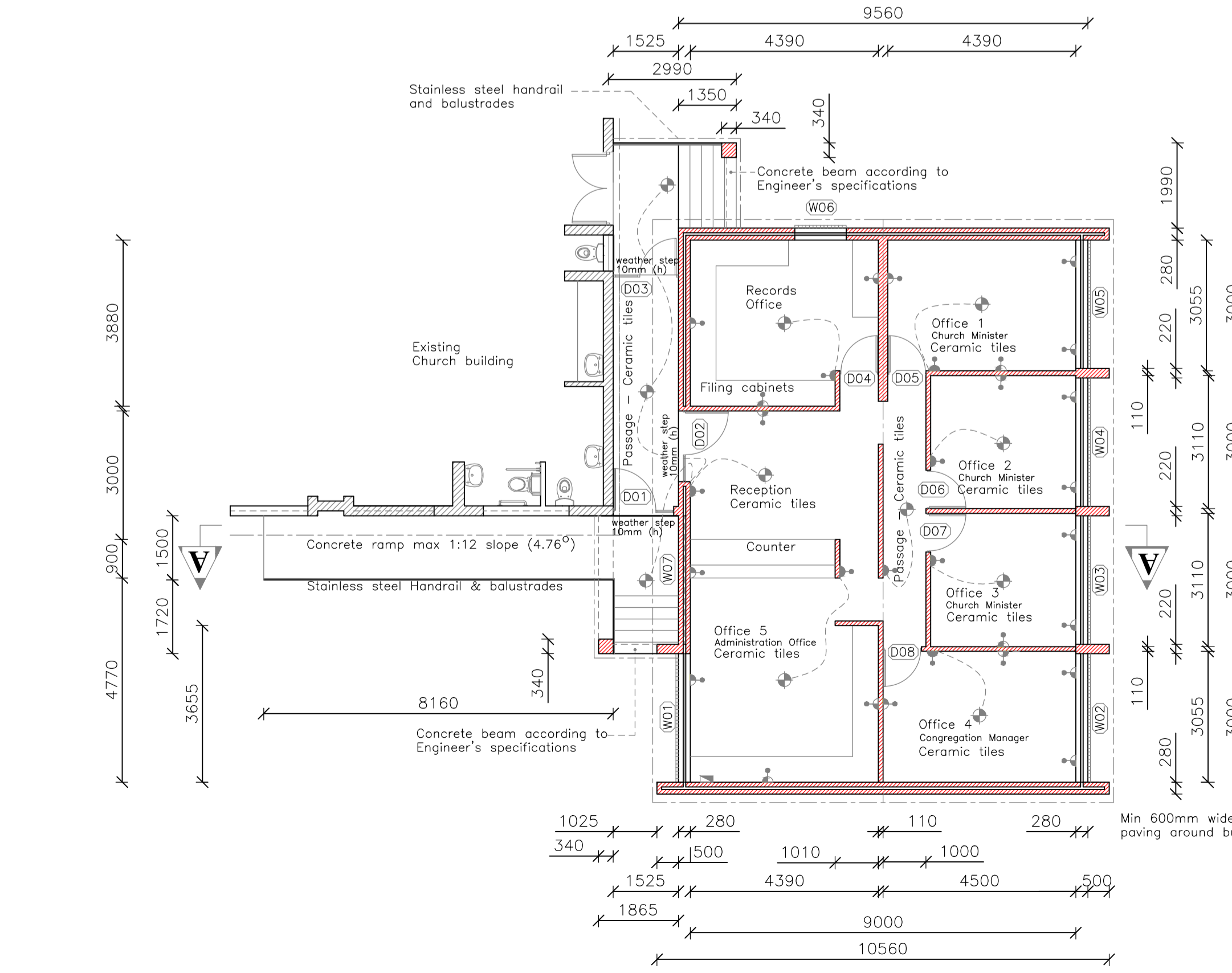
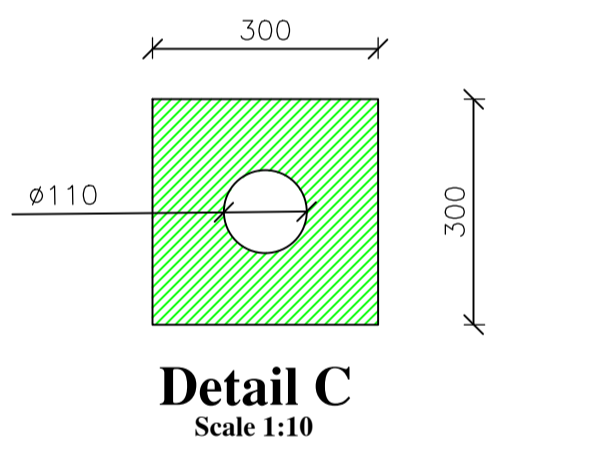
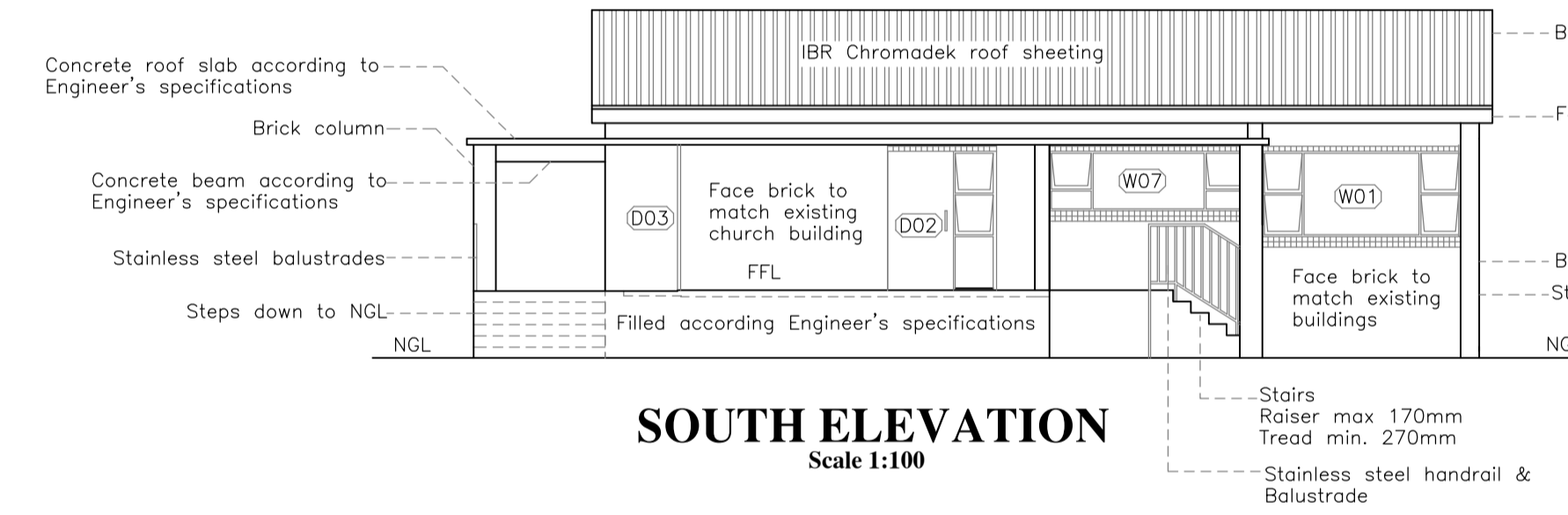
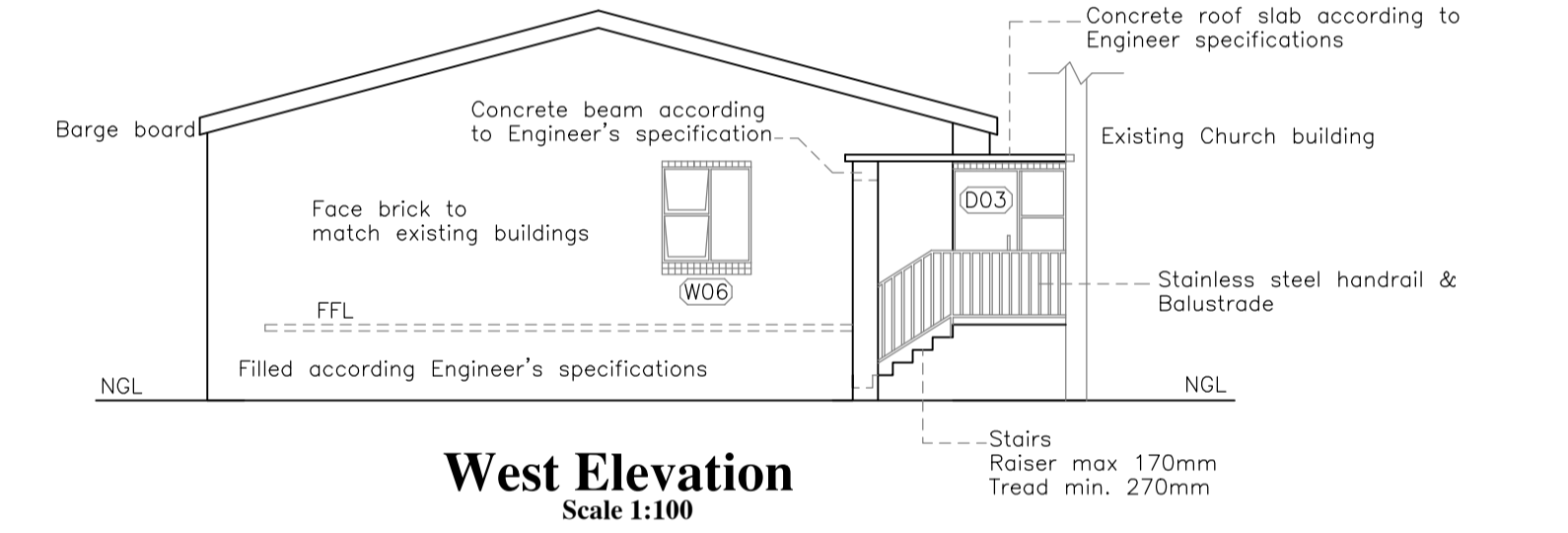
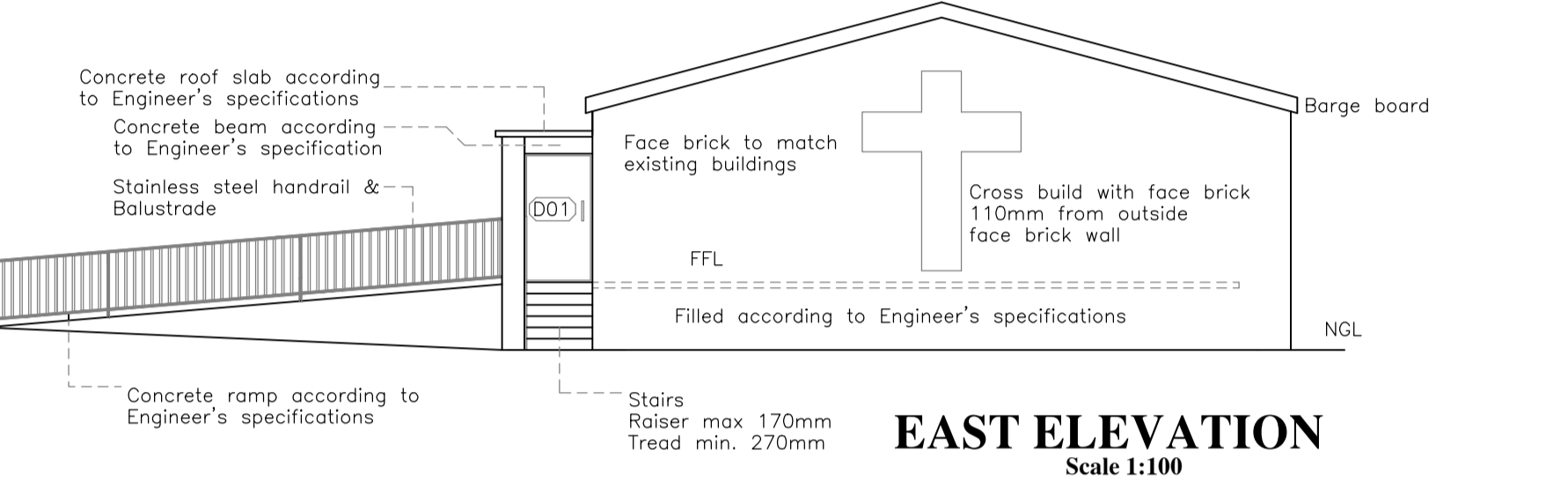
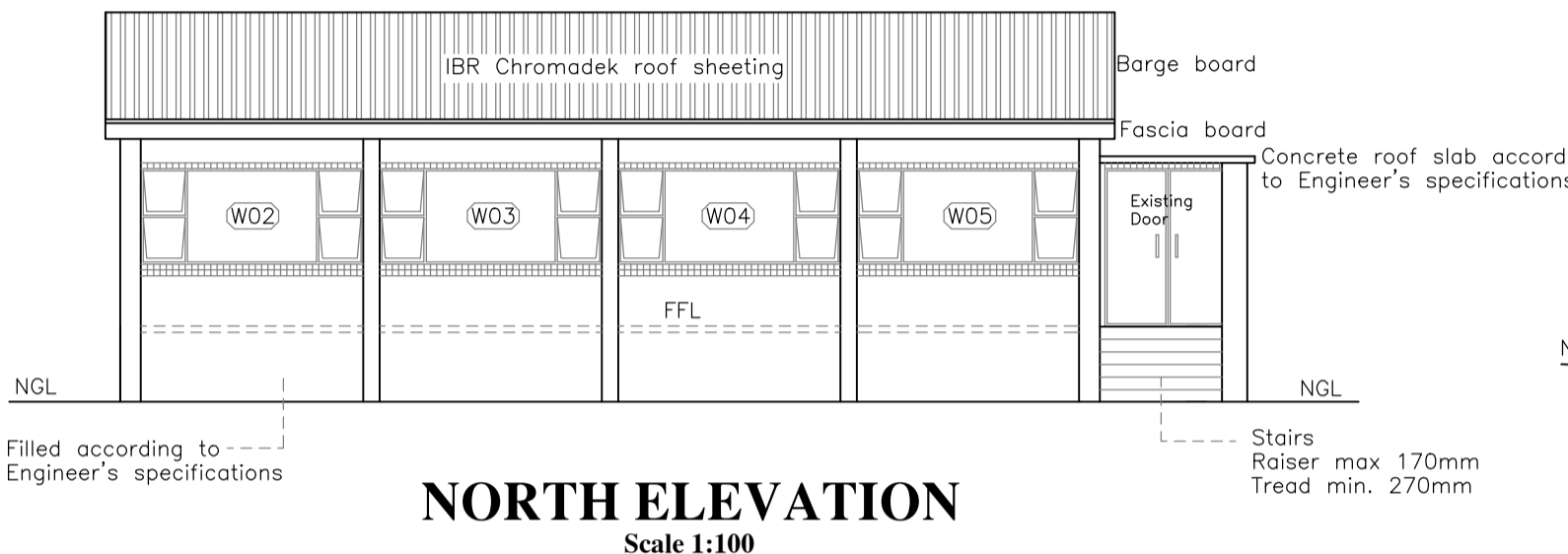
Roof Assembly
 Total Roof and ceiling assembly to have minimum thermal resistance(R) value of 0.30 to 0.35m² K/W
 Isotherm Thermal Insulation: 100mm R-value: 1.53

Roof Leaking
 Roof leaking to be restricted to the max. under roof tiles
 Cornice to be installed according to manufacturer's specifications
 Eaves to be sealed with 1/4 and 1/2 round meranti wood strips against wall and nutec ceiling board overlaps

Hot Water
 Not applicable

Lighting
 Lighting power density = 8 W/m²
 Floor area 126.38m x 8W/m² = 1011.04 watt
 11 x 10watt LED lights = 110 watt

Air Conditioning
 Unitary split air conditioner system
 Capacity range less than 7kw
 Minimum coefficient cooling mode performance (COP_c) = 3
 Minimum coefficient cooling mode performance (COP_h) = 3.2
 Inverter type of air conditioner
 Energy efficiency rating (EER) min. 8.5



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Certified Thermal Calculation Software
 SP Energy Calculator

NG Kerk Hartenbos Eindomskommisie
 Ontwerp & Tekon Sub Komitee

Project Title
 NG Kerk Hartenbos
 Extensions & Alterations
 Building Classification - A4
 Erf 799
 Cnr Majubalaan & Vegkopweg
 Hartenbos
 Mosselbaai - Western Cape

Client
 NG Kerk Hartenbos

Project Drawing
 Administration Offices
 Ground Floor Layout Plan
 Section A-A
 Detail A / B & C
 Elevations

Project Plan Status
 Council Drawings
 Architectural Construction Drawings

Scale
 1:100 / as indicated

Client
 NG Kerk Hartenbos

Signature: Date: 2024-04-17
 K. van Tonder
 Chairperson Property Commission

Design Team
 Professional Architectural Professionals

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Professional Engineer
 As Appointed per SANS 10400 - Form 2

Protected by the Copyright Act, 1978
 Act 98 of 1998

WINDOW SCHEDULE

DOOR SCHEDULE

Window number	W01 & W02	Window number	W03/W04/W05/W06	Window number	W07	Window number	W08 to W11	Door number	D01	Door number	D02
Viewed from	Inside	Viewed from	Inside	Viewed from	Inside	Viewed from	Inside	Viewed from	Inside	Viewed from	Inside
Location	Youth Hall	Location	Community Hall	Location	Storeroom	Location	Youth Venue	LH/RH	Sliding from right	LH/RH	Right hand - RH
Orientation	East	Orientation	North	Orientation	North	Orientation	South	Location	Toilet	Location	Storeroom
Ironmongery	As per Manufacturer	Ironmongery	As per Manufacturer	Ironmongery	As per Manufacturer	Ironmongery	As per Manufacturer	Orientation	East	Orientation	N/a
Type	Aluminum	Type	Aluminum	Type	Aluminum	Type	Aluminum	Door frame	As per client	Door frame	As per Client
Color	Bronze	Color	Bronze	Color	Bronze	Color	Bronze	Color	Bronze	Color	Dark brown varnish
Fenestration Area	2.58sqm (x2)	Fenestration Area	3.87sqm (x4)	Fenestration Area	1.35sqm	Fenestration Area	1.35sqm (x4)	Fenestration Area	5.1sqm	Fenestration Area	N/a
Glass	Double clear	Glass	Double clear	Glass	Double clear	Glass	Double clear	Glass	Double clear - safety	Glass	Double clear - safety

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ELECTRICAL LEGENDS	
	Ceiling fitted light
	Outside wall mounted light
	Fluorescent light
	Light switch
	Wall plug
	DB - board
	Day/night switch

ENERGY USAGE IN BUILDINGS
SANS 10400 - XA Edition 2
 Energy Zone: 4
 Longitude: (°E) - 22.110
 Latitude: (°S) - 34.129
 Multiplier for Shading projection: 0.54
 Southern Cape Condensation Problem Area: Y
 Maximum energy consumption 40 (kWh/m²/y)
 Maximum annual demand intensity 16 (VA/m²)

Orientation
 Fenestration Areas per orientation
 North: 15.48m²
 East: 10.26m²
 West: 0m²
 Total N/E/W: 25.74m²
 South: 5.40m²
 Orientation of major windows: North

Shading
 Shading feature/device: fascia board do not meet minimum required distance
 Roll up blinds to all windows to restrict min. 80% of summer solar radiation - 800W/m² to ensure compliance.

Fenestration
 Building Envelope: 157.17m²
 Fenestration Area: 31.14m²
 Percentage Fenestration Area: 19.81%
 Fenestration Area - E/N/W: 27.09m²
 Percentage Fenestration Area: 17.24%
 Certified Performance U values for windows:
 Max. 5.2 W/m².K²
 Solar Heat Gain Coefficient:
 Any solution
 Aluminum coated window & door frames and doors with East to West orientation
 Double clear / Any solution will comply U Value 4.3 W/m.K²
 SHGC: 0.64
 Status: Compliant

Floors
 Not applicable

External Walls
 External walls with surface density equal or greater than 270kg/m² to have on thermal resistance (R) value of 0.6m².K/W with a min. 50mm cavity wall.

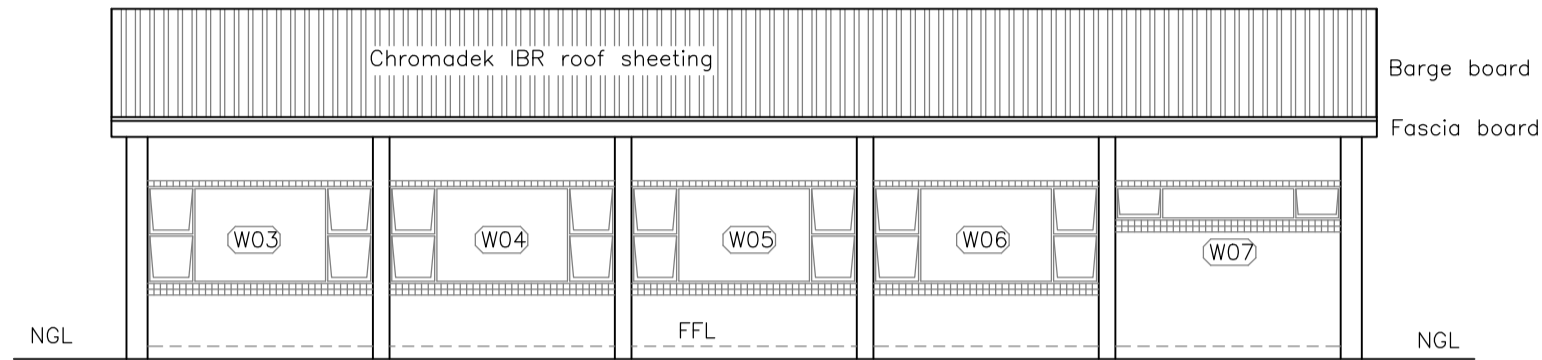
Roof Assembly
 Total Roof and ceiling assembly to have minimum thermal resistance(R) value of 0.30 to 0.35m².K/W
 Isotherm Thermal Insulation: 100mm R-value: 1.53

Roof Leaking
 Roof leaking to be restricted to the max. under roof tiles
 under roof tiles
 Cornice to be installed according to manufacturer specifications
 Eaves to be sealed with 1/4 and 1/2 round meranti wood strips against wall and nutec ceiling board overlaps

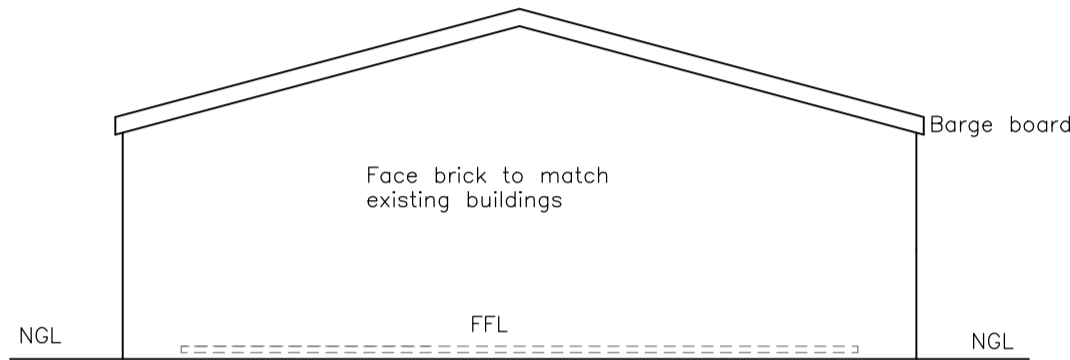
Hot Water
 Not applicable

Lighting
 Lighting power density = 10 W/m²
 Floor area 157.17m² x 10W/m² = 1571.70watt
 S x10watt LED lights = 80 watt

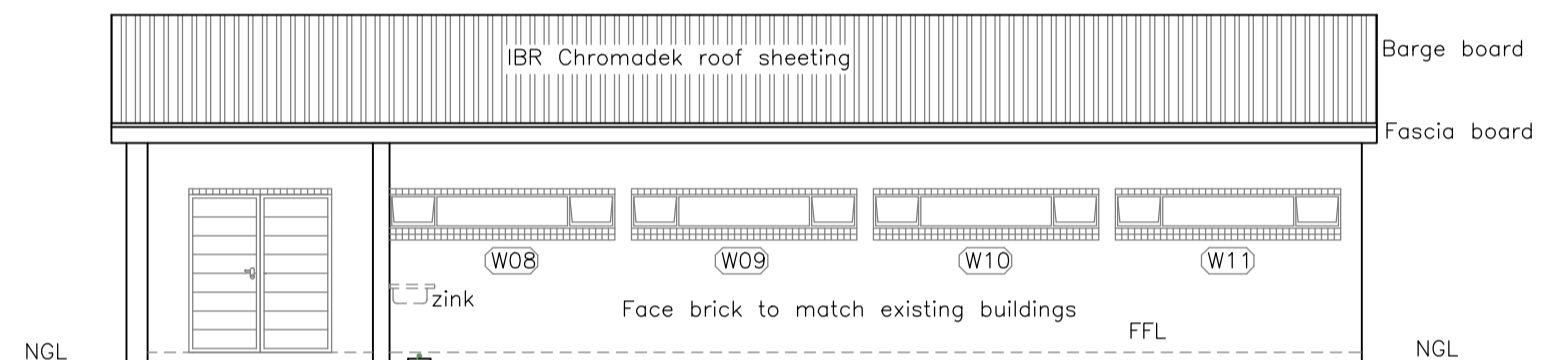
Air Conditioning
 Unitary split air conditioner system
 Capacity range less than 7kw
 Minimum coefficient cooling mode performance (COP_c) = 3
 Minimum coefficient cooling mode performance (COP_h) = 3.2
 Inverter type of air conditioner
 Energy efficiency rating (EER) min. 8.5



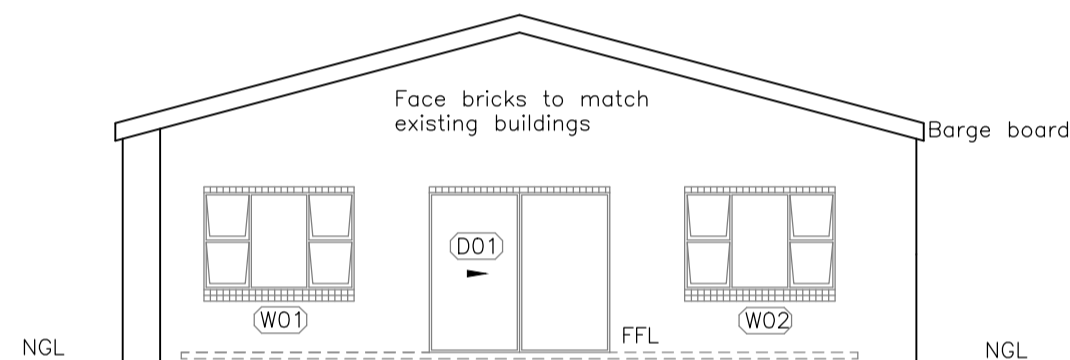
NORTH ELEVATION
Scale 1:100



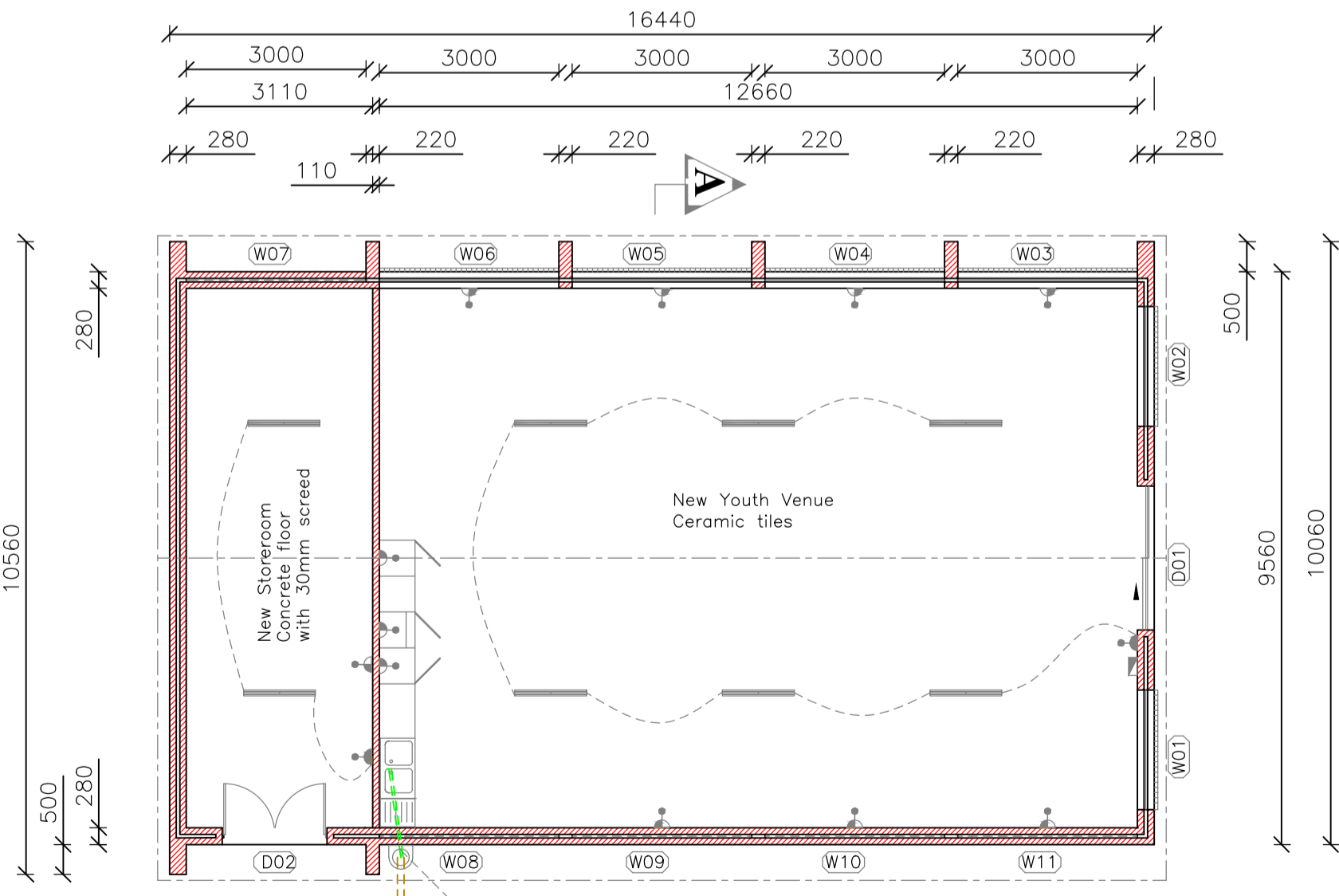
West Elevation
Scale 1:100



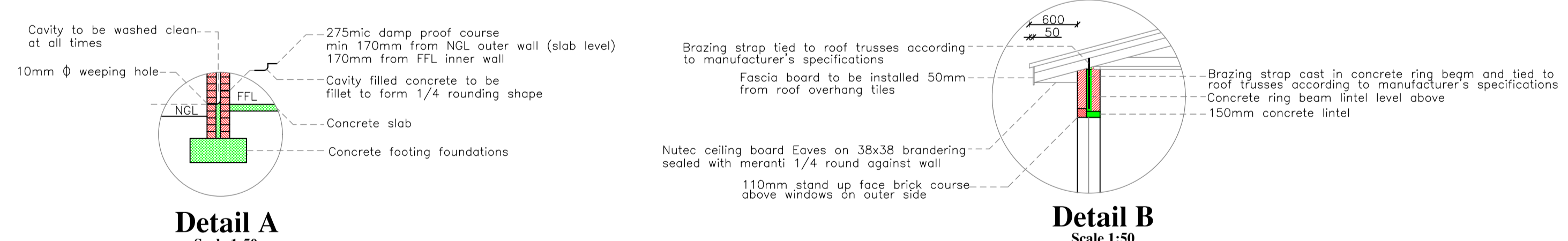
SOUTH ELEVATION
Scale 1:100



EAST ELEVATION
Scale 1:100

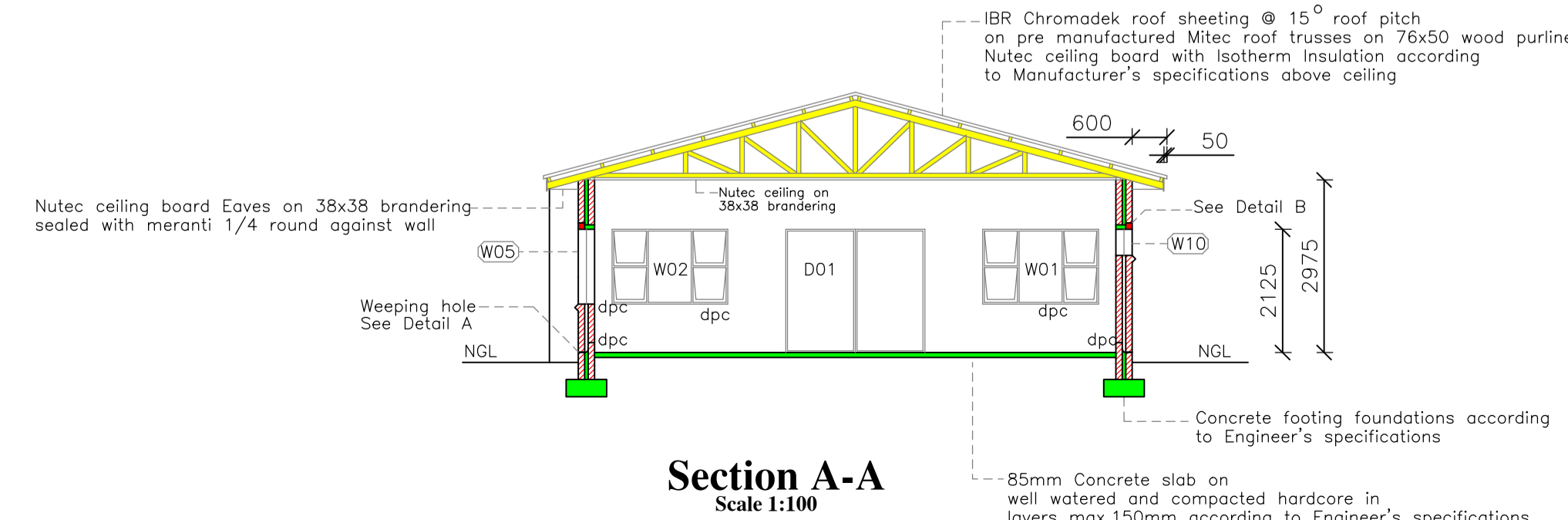


Ground Floor Plan
Scale 1:100

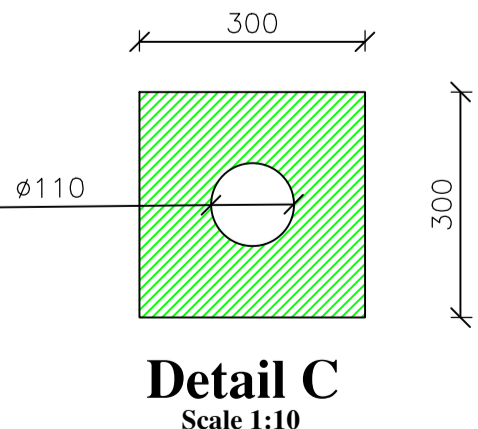


Detail A
Scale 1:50

Detail B
Scale 1:50



Section A-A
Scale 1:100



Detail C
Scale 1:10

Certified Thermal Calculation Software
 SP Energy Calculator

NG Kerk Hartenbos Eindomskommissie
 Ontwerp & Tekon Sub Komitee

Project Title
 NG Kerk Hartenbos
 Extensions & Alterations
 Building Classification - A4
 Erf 799
 Cnr Majubalaan & Vegkopweg
 Hartenbos
 Mosselbaai - Western Cape

Client
 NG Kerk Hartenbos

Project Drawing
 Youth Hall / Venue
 Ground Floor Layout Plan
 Section A-A
 Detail A / B & C
 Elevations

Project Plan Status
 Council Drawings
 Architectural Construction Drawings

Scale
 1:100 / as indicated

Client
 NG Kerk Hartenbos

K. van Tonder
 Chairperson Property Commission

2024-04-17
 Date

Design Team
Professional Architectural Professionals

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2024-04-17
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 email: nicofouriearch3@gmail.com

2024-04-17
 Date

Professional Engineer
 As Appointed per SANS 10400 - Form 2

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WINDOW SCHEDULE

Window number: W01/W03/W05	Window number: W02/W04/W06	Window number: W08	Window number: W09 & W10	Window number: W11 to W18	Window number: W19 & W20
Viewed from: Inside	Viewed from: Inside	Viewed from: Inside	Viewed from: Inside	Viewed from: Inside	Viewed from: Inside
Location: Community Hall	Location: Community Hall	Location: Storeroom	Location: Storeroom	Location: Storeroom/Community Hall	Location: Inside Community Hall
Orientation: East	Orientation: East	Orientation: East	Orientation: North	Orientation: West	Orientation: N/a - inside
Ironmongery: As per Manufacturer	Ironmongery: As per Manufacturer	Ironmongery: As per Manufacturer	Ironmongery: As per Manufacturer	Ironmongery: As per Manufacturer	Ironmongery: None
Type: Aluminum	Type: Aluminum	Type: Aluminum	Type: Aluminum	Type: Aluminum	Type: Aluminum
Color: Bronze	Color: Bronze	Color: Bronze	Color: Bronze	Color: Bronze	Color: Aluminum
Fenestration Area: 1.96sqm (x3)	Fenestration Area: 1.96sqm (x3)	Fenestration Area: 1.24sqm	Fenestration Area: 0.675sqm (x2)	Fenestration Area: 1.24sqm (x8)	Fenestration Area: N/a - inside
Glass: Double clear	Glass: Double clear	Glass: Double clear	Glass: Double clear	Glass: Double clear	Glass: Tinted one sided from Hall

DOOR SCHEDULE

Door number: D03	Door number: D04
Viewed from: Inside	Viewed from: Inside
LH/RH: Left Hand - LH	LH/RH: Right hand - RH
Location: Toilet	Location: Storeroom
Orientation: N/a	Orientation: N/a
Ironmongery: As per client	Ironmongery: As per Client
Door frame: Meranti wood	Door frame: Meranti wood
Door: Meranti wood	Door: Dark brown varnish
Color: Dark brown varnish	Color: Dark brown varnish
Fenestration Area: N/a	Fenestration Area: N/a

DOOR / WINDOW COMBINATION SCHEDULE

Door/Window number: D01	Door/Window number: D02 / W07
Viewed from: Inside	Viewed from: Inside
Location: Storeroom	Location: Storeroom
Orientation: South	Orientation: East
Ironmongery: As per Manufacturer	Ironmongery: As per Manufacturer
Type: Aluminum	Type: Aluminum
Color: Bronze	Color: Bronze
Fenestration Area: 5.2sqm	Fenestration Area: 4.6sqm
Glass: Double clear - safety	Glass: Double clear - safety

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ELECTRICAL LEGENDS

- Ceiling fitted light
- Outside wall mounted light
- Fluorescent light
- Light switch
- Wall plug
- DB - board
- Day/night switch
- Geyser isolator

ENERGY USAGE IN BUILDINGS

SANS 10400 - XA Edition 2

Energy Zone: 4
 Longitude: (°E) - 22.110
 Latitude: (°S) - 34.129
 Multiplier for Shading projection: 0.54
 Southern Cape Condensation Problem Area: Y
 Maximum energy consumption 40 (kWh/m²/y)
 Maximum annual demand intensity 16 (VA/m²)

Orientation
 Fenestration Areas per orientation
 North: 1.33m²
 East: 17.60m²
 West: 9.92m²
 Total N/E/W: 28.87m²
 South: 5.2m²
 Orientation of major windows: East

Shading
 Shading feature/device: fascia board do not meet minimum required distance
 Roll up blinds to all windows to restrict min. 80% of summer solar radiation - 800W/m² to ensure compliance.

Fenestration
 Building Envelope: 242m²
 Fenestration Area: 34.07m²
 Percentage Fenestration Area: 14.08%
 Fenestration Area - E/N/W: 28.87m²
 Percentage Fenestration Area: 11.93%
 Certified Performance U values for windows:
 Max. 5.2 W/m².K
 Solar Heat Gain Coefficient:
 Any solution
 Aluminum coated window & door frames and doors with East to West orientation
 Double clear (Any solution is applicable)
 U Value 4.3 W/m².K
 SHGC: 0.64
 Status: Compliant

Floors
 Not applicable

External Walls
 External walls with surface density equal or greater than 270kg/m² to have on thermal resistance (R) value of 0.6m².K/W with a min. 50mm cavity wall.

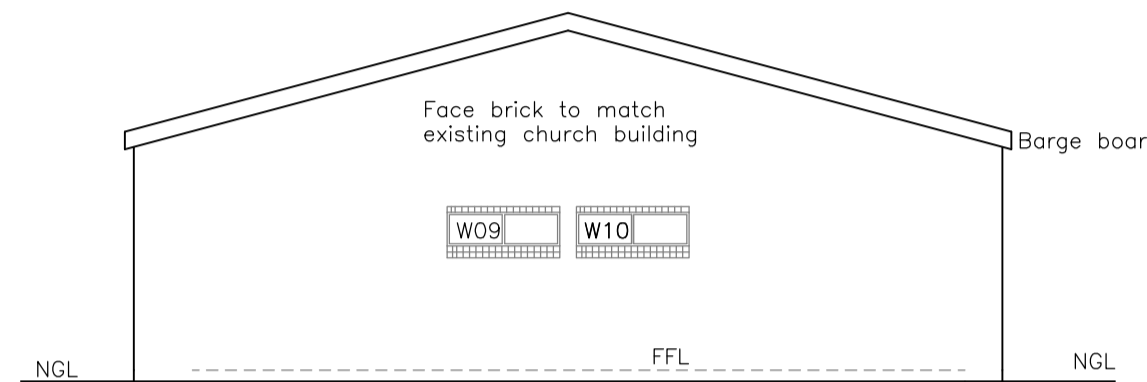
Roof Assembly
 Total Roof and ceiling assembly to have minimum thermal resistance(R) value of 0.30 to 0.35m².K/W
 Isotherm Thermal insulation: 100mm
 R-value: 1.53

Roof Leaking
 Roof leaking to be restricted to the max. Proper beam filling and sealed with mortar under roof tiles
 Cornice to be installed according to manufacturer specifications
 Eaves to be sealed with 1/4 and 1/2 round meranti wood strips against wall and nutec ceiling board overlaps

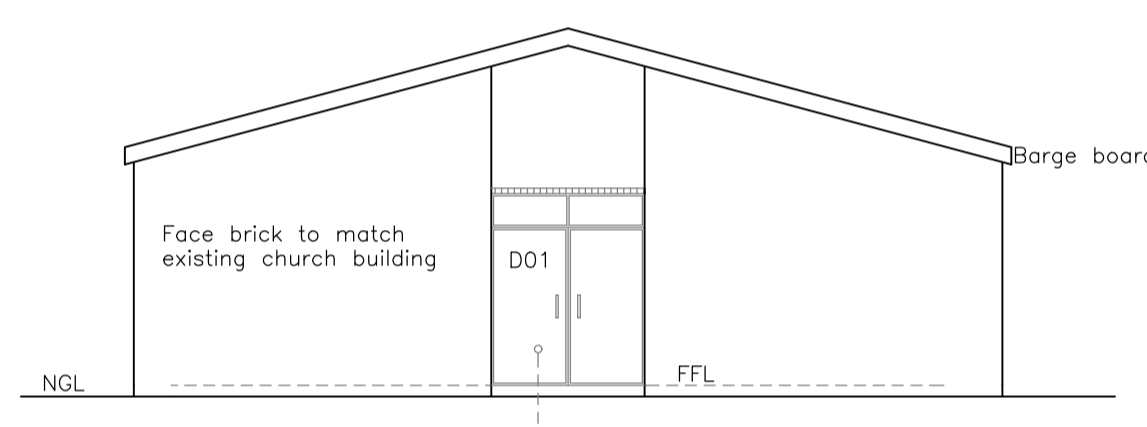
Hot Water
 100 l electric geyser

Lighting
 Lighting power density = 10 W/m²
 Floor area 242m² x 10W/m² = 2420watt
 18 x 10watt LED lights = 180 watt

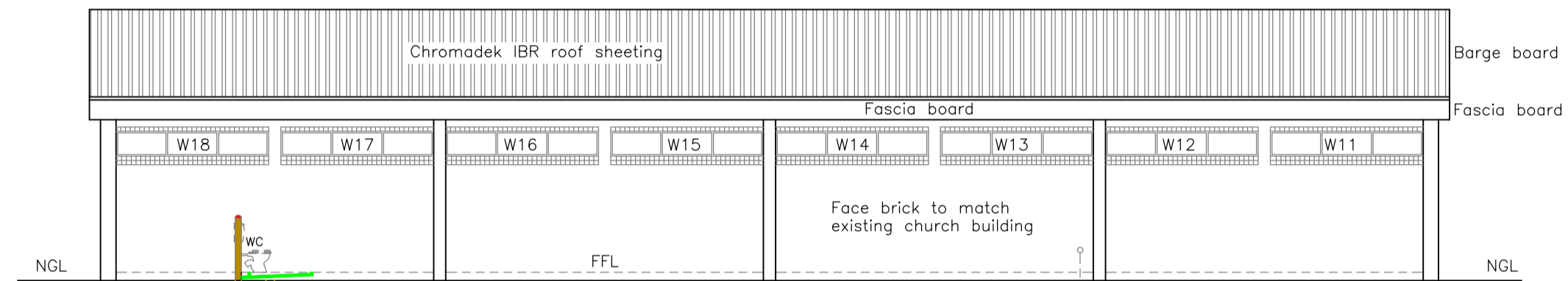
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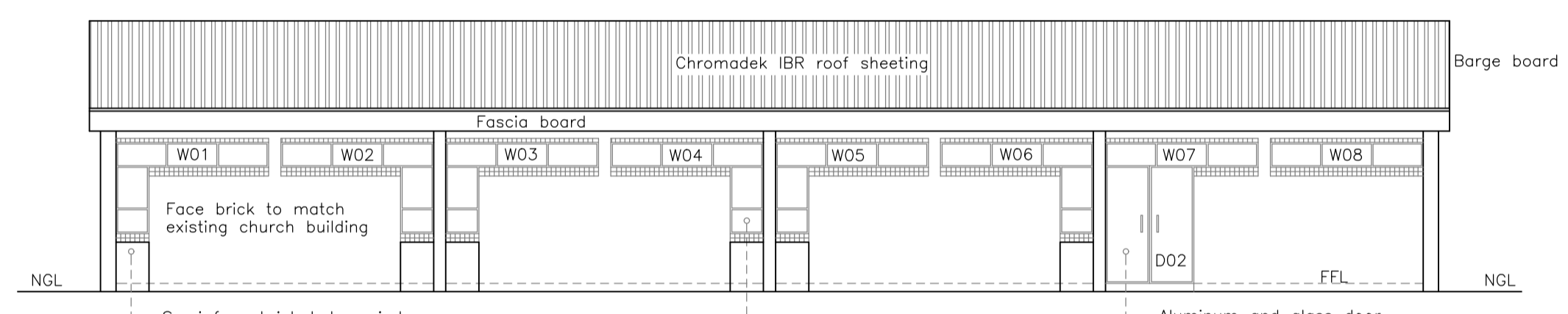
North Elevation
Scale 1:100



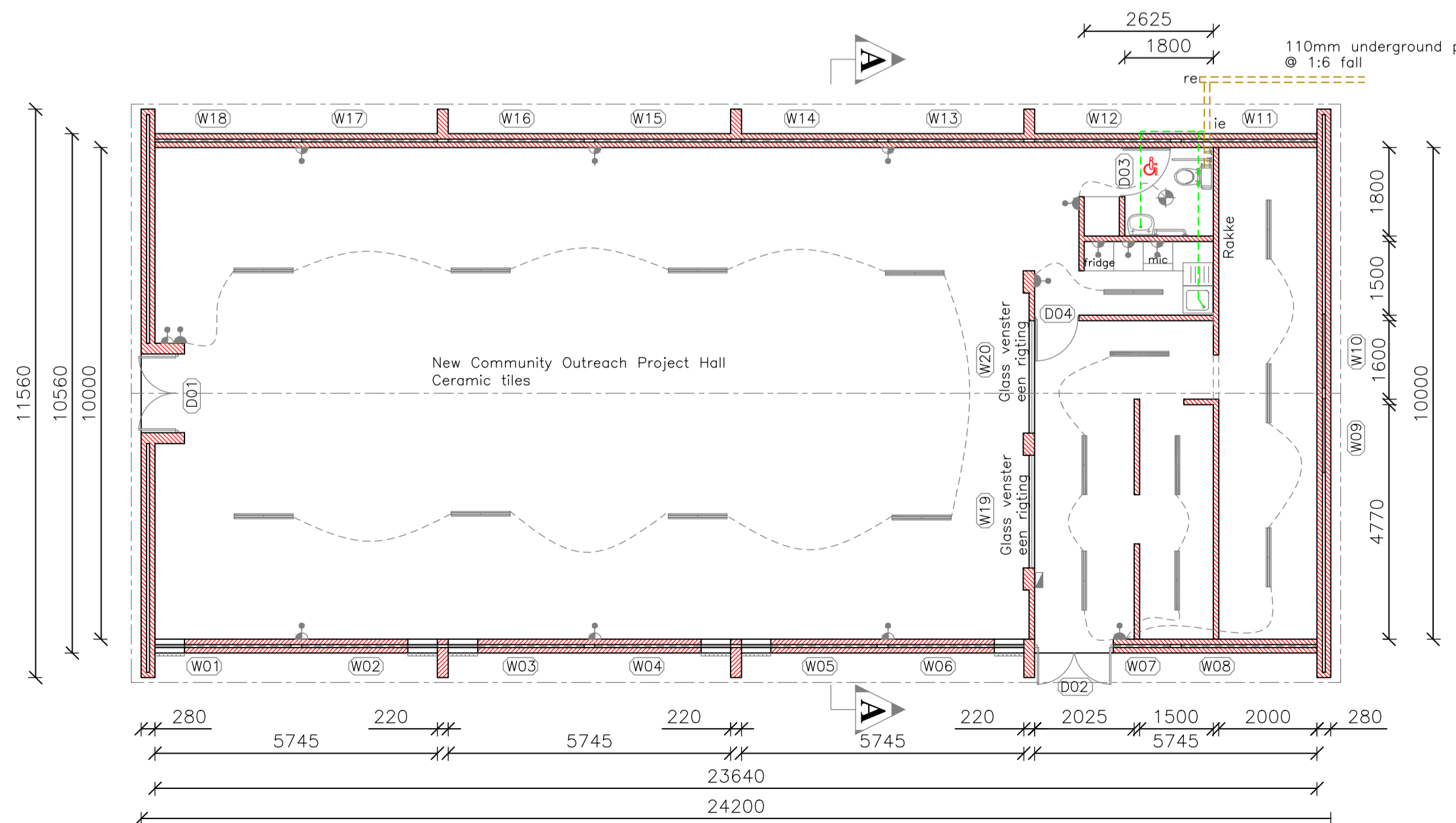
South Elevation
Scale 1:100



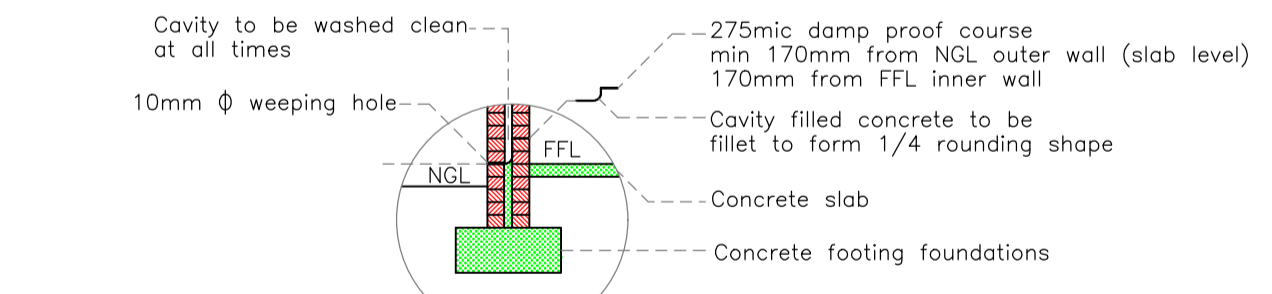
West Elevation
Scale 1:100



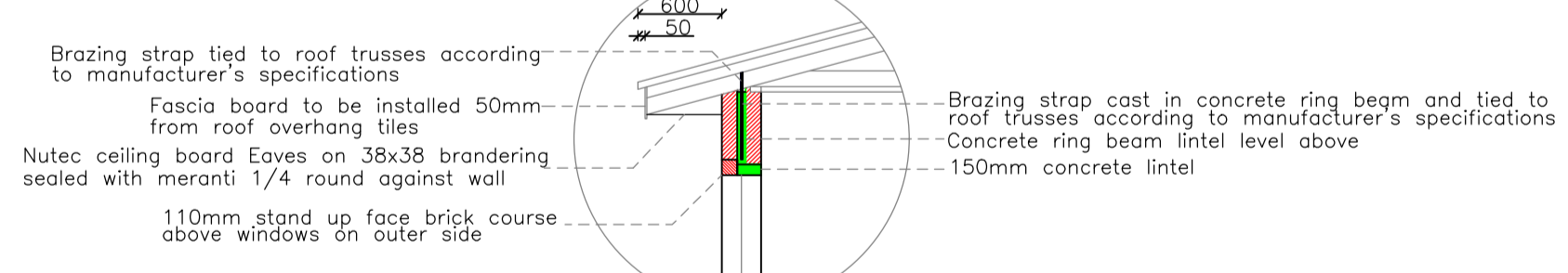
East Elevation
Scale 1:100



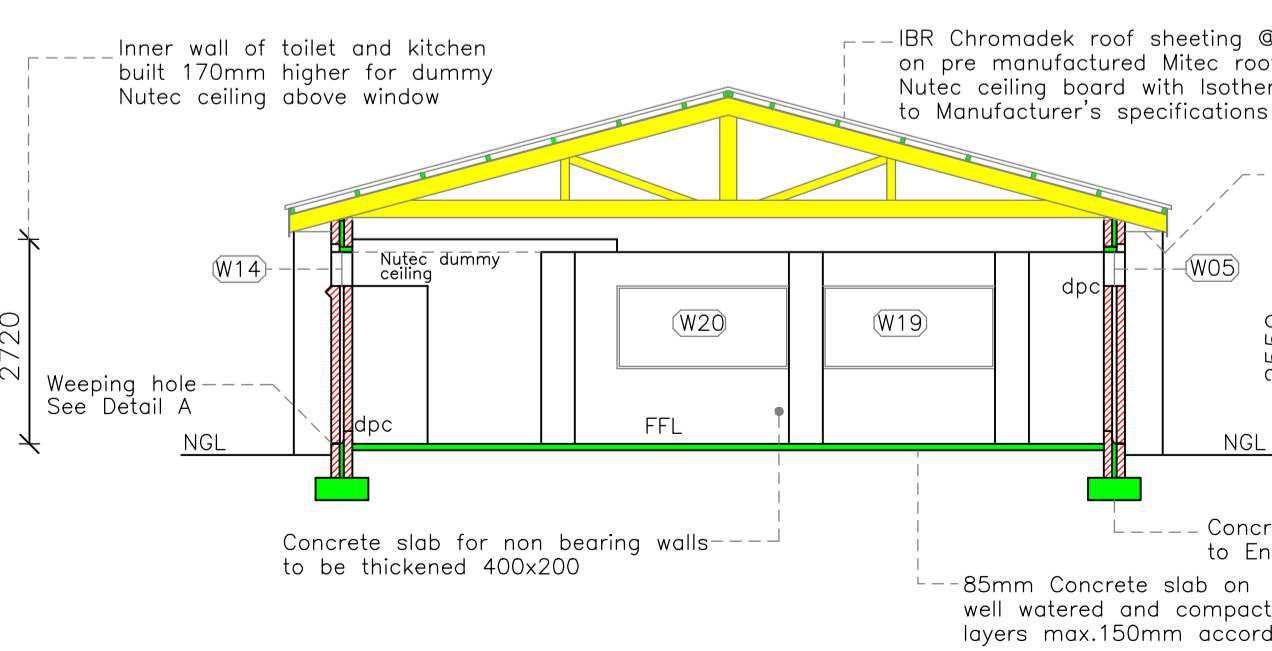
Ground Floor Plan
Scale 1:100



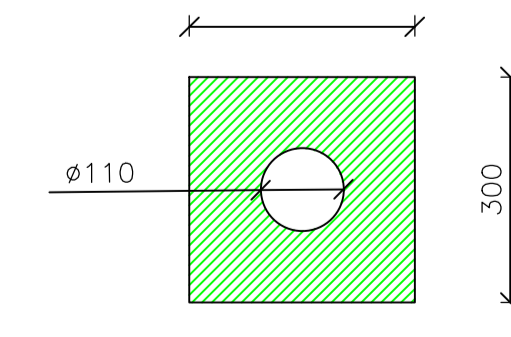
Detail A
Scale 1:50



Detail B
Scale 1:50



Section A-A
Scale 1:100



Detail C
Scale 1:10

Certified Thermal Calculation Software

SP Energy Calculator

NG Kerk Hartenbos Eindomskommisie

Project Title
 NG Kerk Hartenbos
 Extensions & Alterations
 Building Classification - A4
 Erf 799
 Cnr Majubalaan & Vegkopweg
 Hartenbos
 Mosselbaai - Western Cape

Client
 NG Kerk Hartenbos

Project Drawing
 Church Hall - Community Outreach Project
 Ground Floor Layout Plan
 Section A-A
 Detail A / B & C
 Elevations

Project Plan Status
 Council Drawings
 Architectural Construction Drawings

Scale
 1:100 / as indicated

Client
 NG Kerk Hartenbos

Signature:
 K.van Tonder
 Chairperson Property Commission
 Date: 2024-04-17

Design Team
Professional Architectural Professionals

Signature:
 Paul J. du Plessis Argitek
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 email: paulduplessis34@gmail.com
 Date: 2024-04-17

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Professional Engineer
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**NG Kerk Hartenbos Eindomskommissie
Ontwerp & Teken Sub Komitee**

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 Building Classification – A4
 Erf 799
 Cnr Majubalaan & Vegkopweg
 Hartenbos
 Mosselbaai – Western Cape

Client
 NG Kerk Hartenbos

Project Drawing
 Floor Layout Existing Church Building
 & New Extensions – Fire fighting equipment

Project Plan Status
 Council Drawings
 Architectural Construction Drawings

Scale
 1:200

Client
 NG Kerk Hartenbos


 Signature
 K. van Tonder
 Chairperson Property Commission
 2024-04-17
 Date

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Professional Architectural Professionals

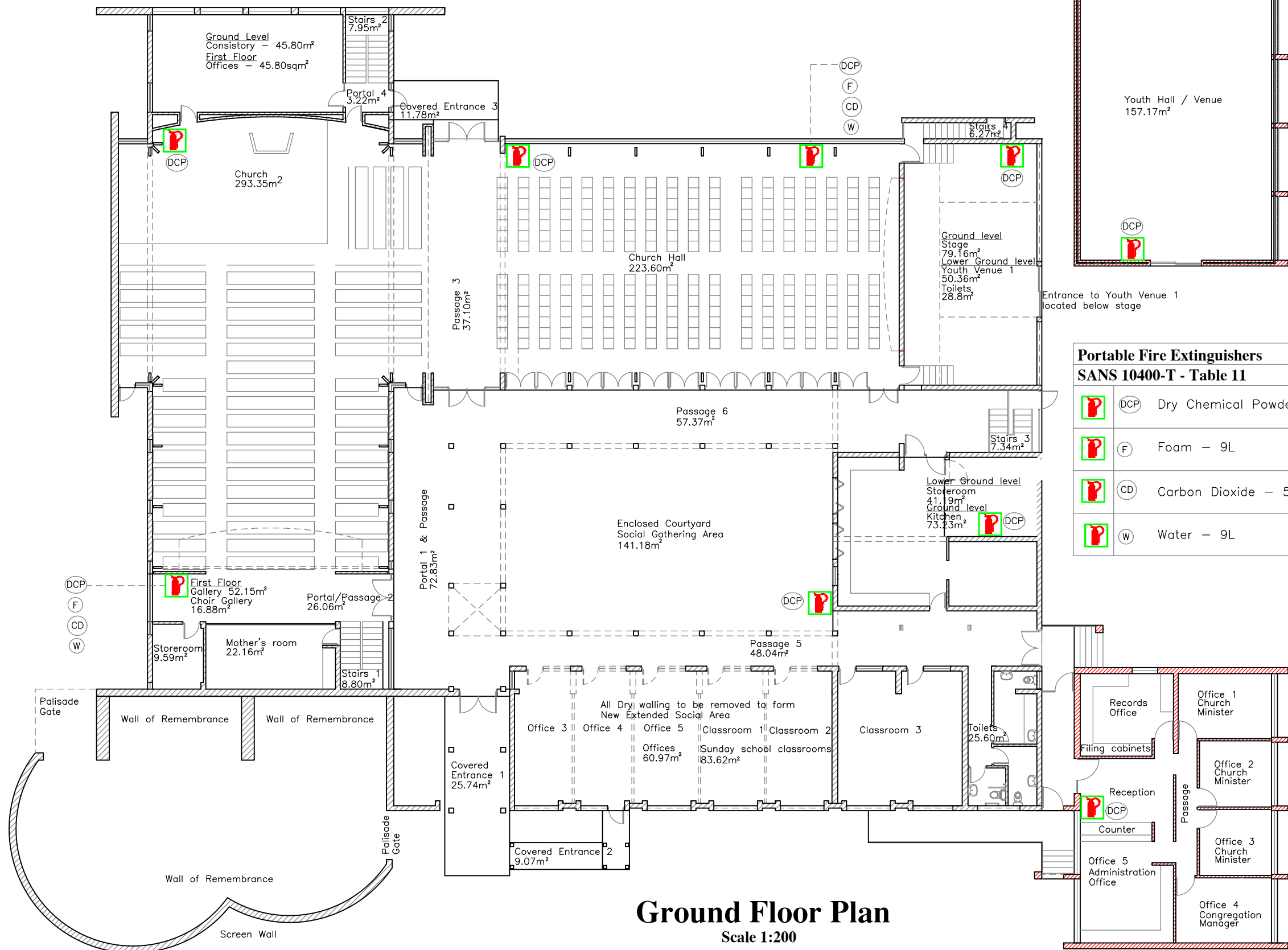

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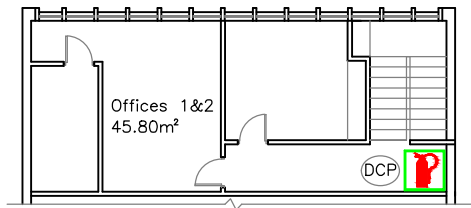
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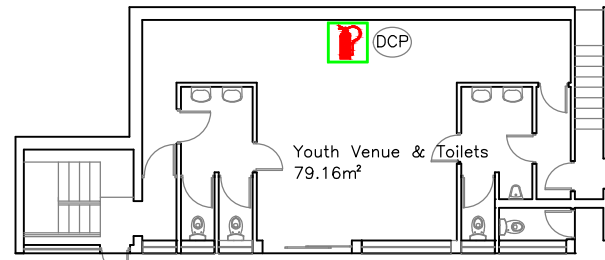
Portable Fire Extinguishers
SANS 10400-T - Table 11

	DCP	Dry Chemical Powder – 4.5kg
	F	Foam – 9L
	CD	Carbon Dioxide – 5kg
	W	Water – 9L

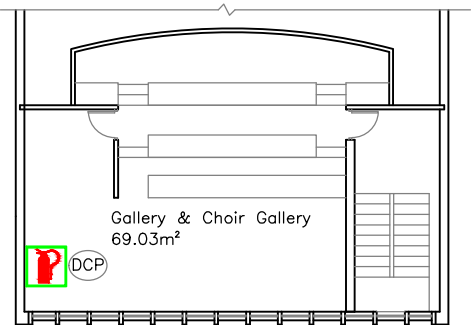
Ground Floor Plan
 Scale 1:200



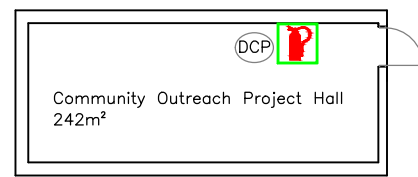
First Floor Plan
Offices above Consistory
Scale 1:200



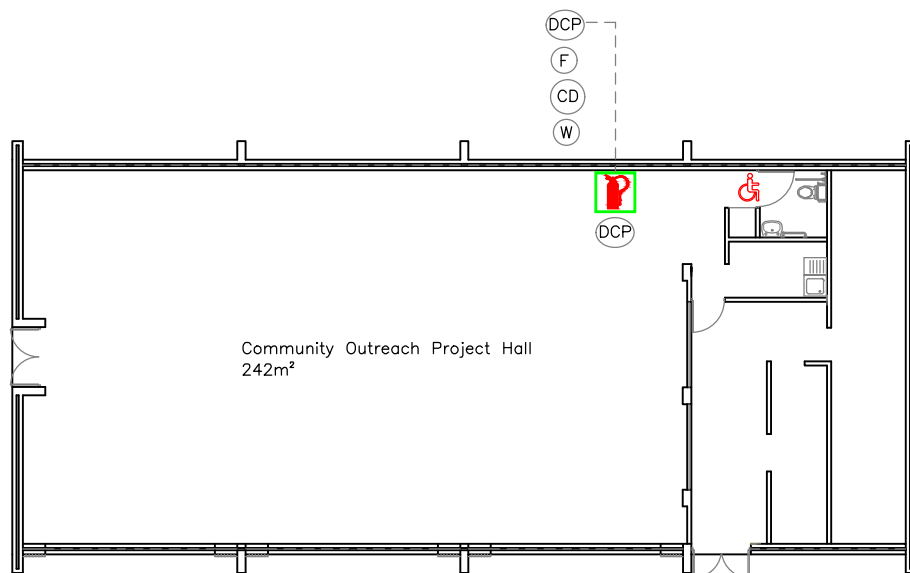
Ground Floor Plan
Youth Venue - Below Stage of Church Hall
Scale 1:200



First Floor Plan
Gallery & Choir Gallery
Scale 1:200



Lower Ground Floor Plan
Storeroom - Below Kitchen
Scale 1:200



Ground Floor Plan
Community Outreach Project Hall
Scale 1:200

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Portable Fire Extinguishers		
SANS 10400-T - Table 11		
	(DCP)	Dry Chemical Powder – 4.5kg
	(F)	Foam – 9L
	(CD)	Carbon Dioxide – 5kg
	(W)	Water – 9L

**NG Kerk Hartenbos Eindomskommis­sie
Ontwerp & Tekon Sub Komitee**

Project Title
NG Kerk Hartenbos
Extensions & Alterations
Building Classification – A4
Erf 799
Cnr Majubalaan & Vegkopweg
Hartenbos
Mosselbaai – Western Cape

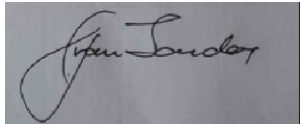
Client
NG Kerk Hartenbos

Project Drawing
Existing Gallery First Floor
Existing Office First Floor
Existing Youth Venue – Ground Level
Existing Storeroom – Lower Ground level
New Community Outreach Project Hall
Floor Layout Plans
Fire Fighting Equipment

Project Plan Status
Council Drawings
Architectural Construction Drawings

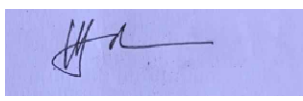
Scale
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Client
NG Kerk Hartenbos



Signature
K. van Tonder
Chairperson Property Commission
2024-04-17
Date

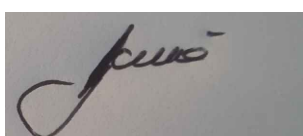
Design Team
Professional Architectural Professionals



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Professional Engineer
As Appointed per SANS 10400 – Form 2

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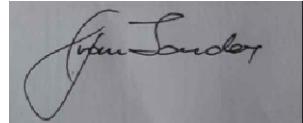
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 NG Kerk Hartenbos

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 New Community Outreach Project Hall
 Floor Layout Plans
 Fire Fighting Equipment

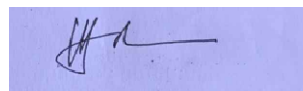
Project Plan Status
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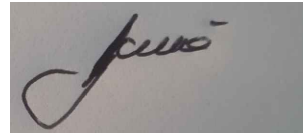
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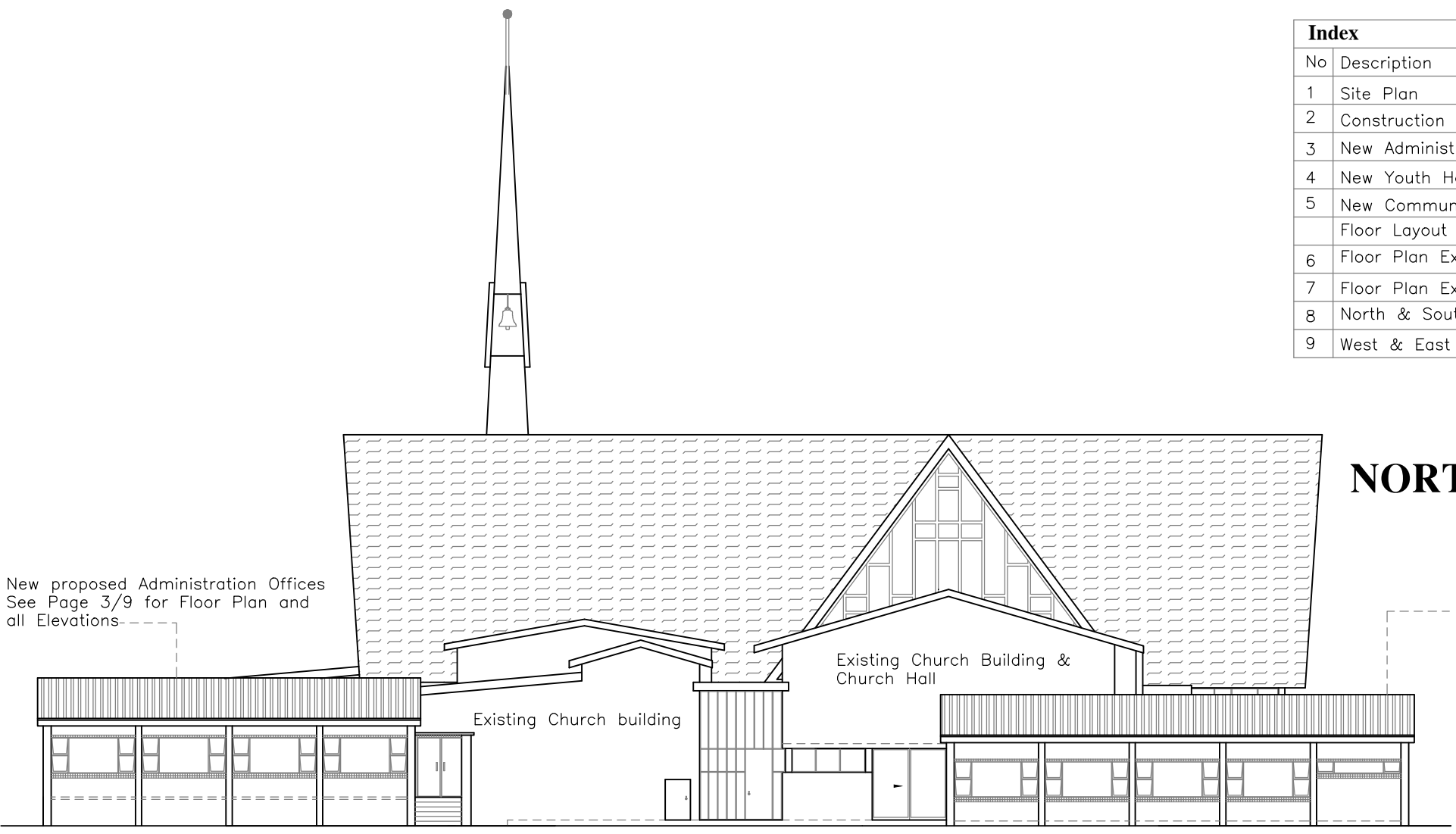

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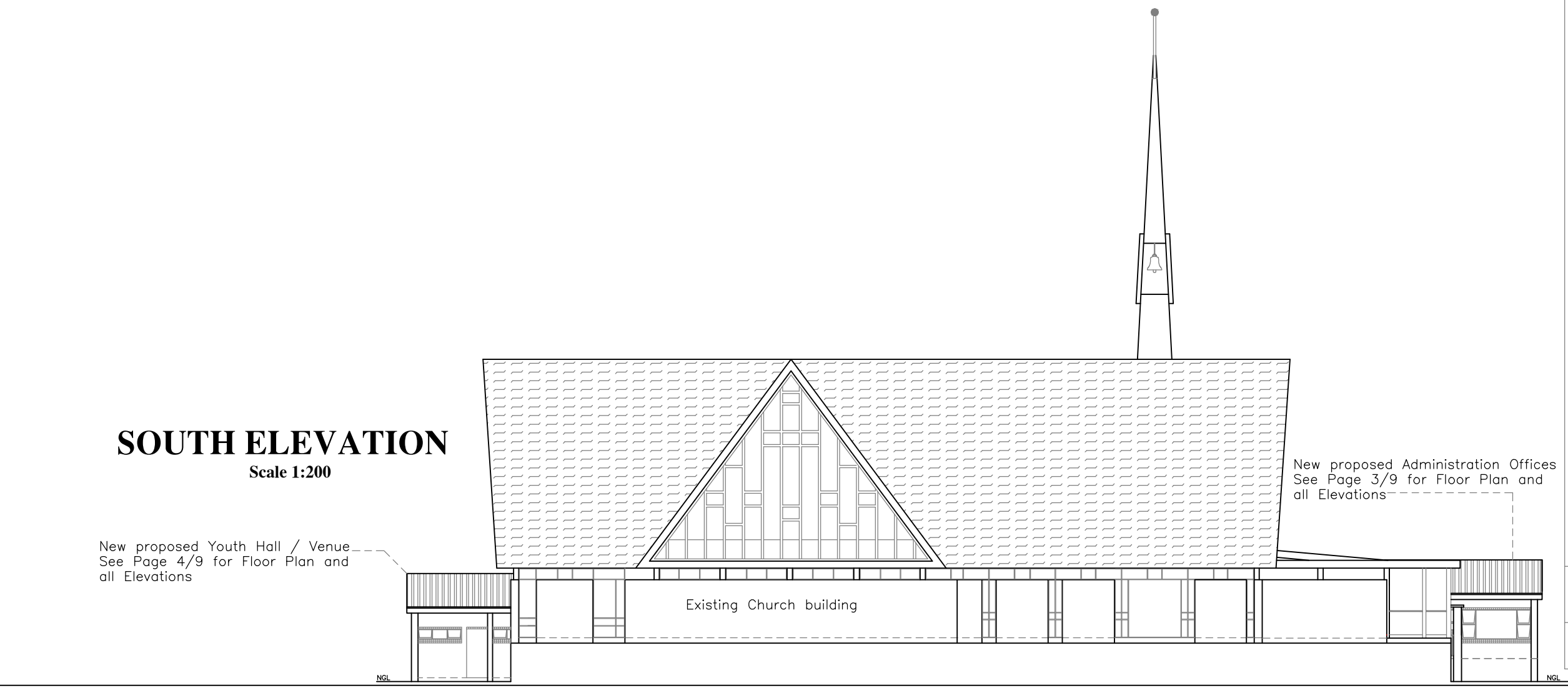

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Professional Engineer
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NORTH ELEVATION
 Scale 1:200



SOUTH ELEVATION
 Scale 1:200

NGL

NGL

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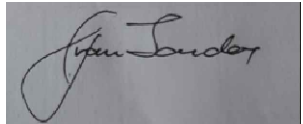
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Scale
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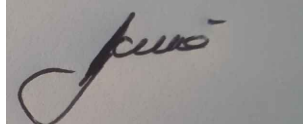
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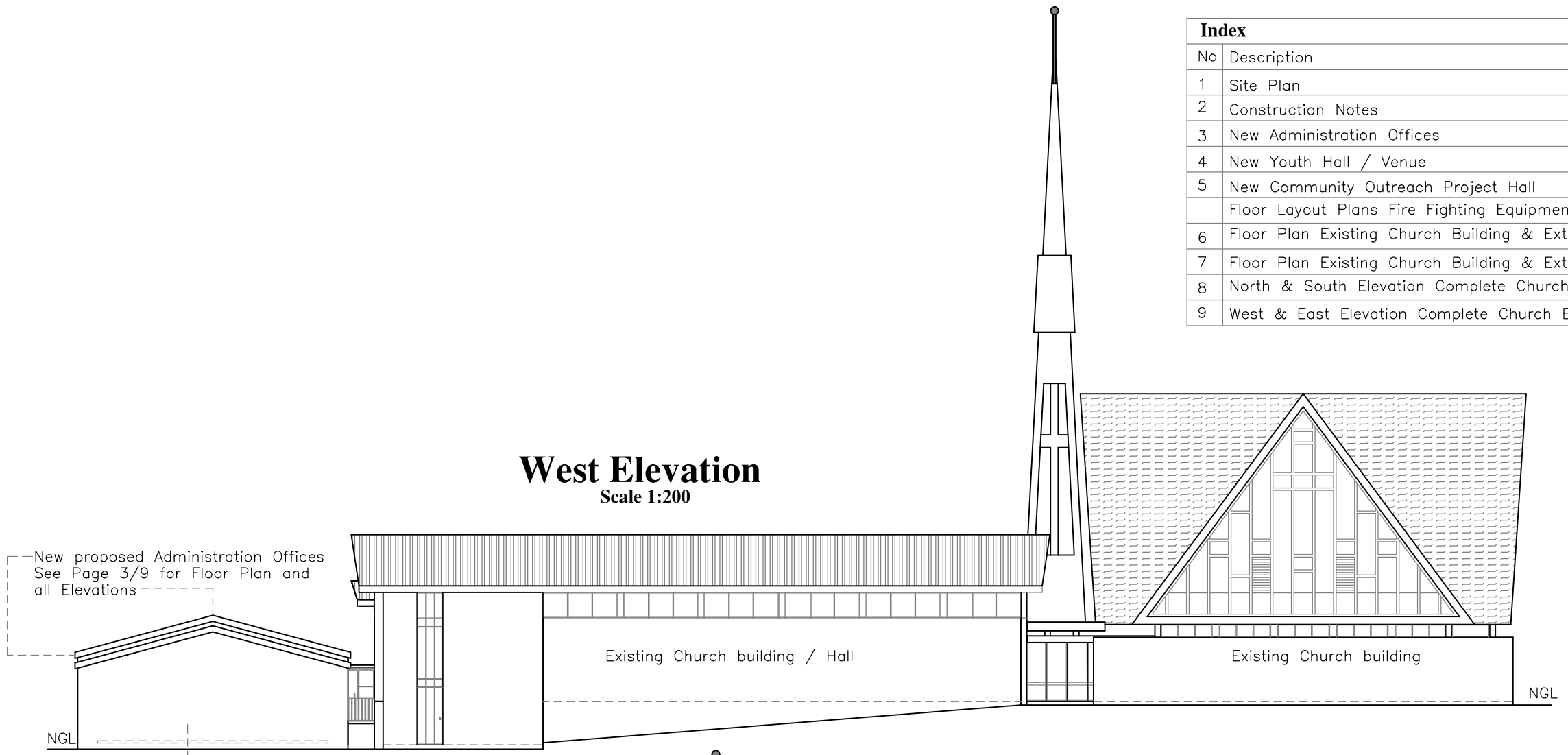

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 As Appointed per SANS 10400 – Form 2

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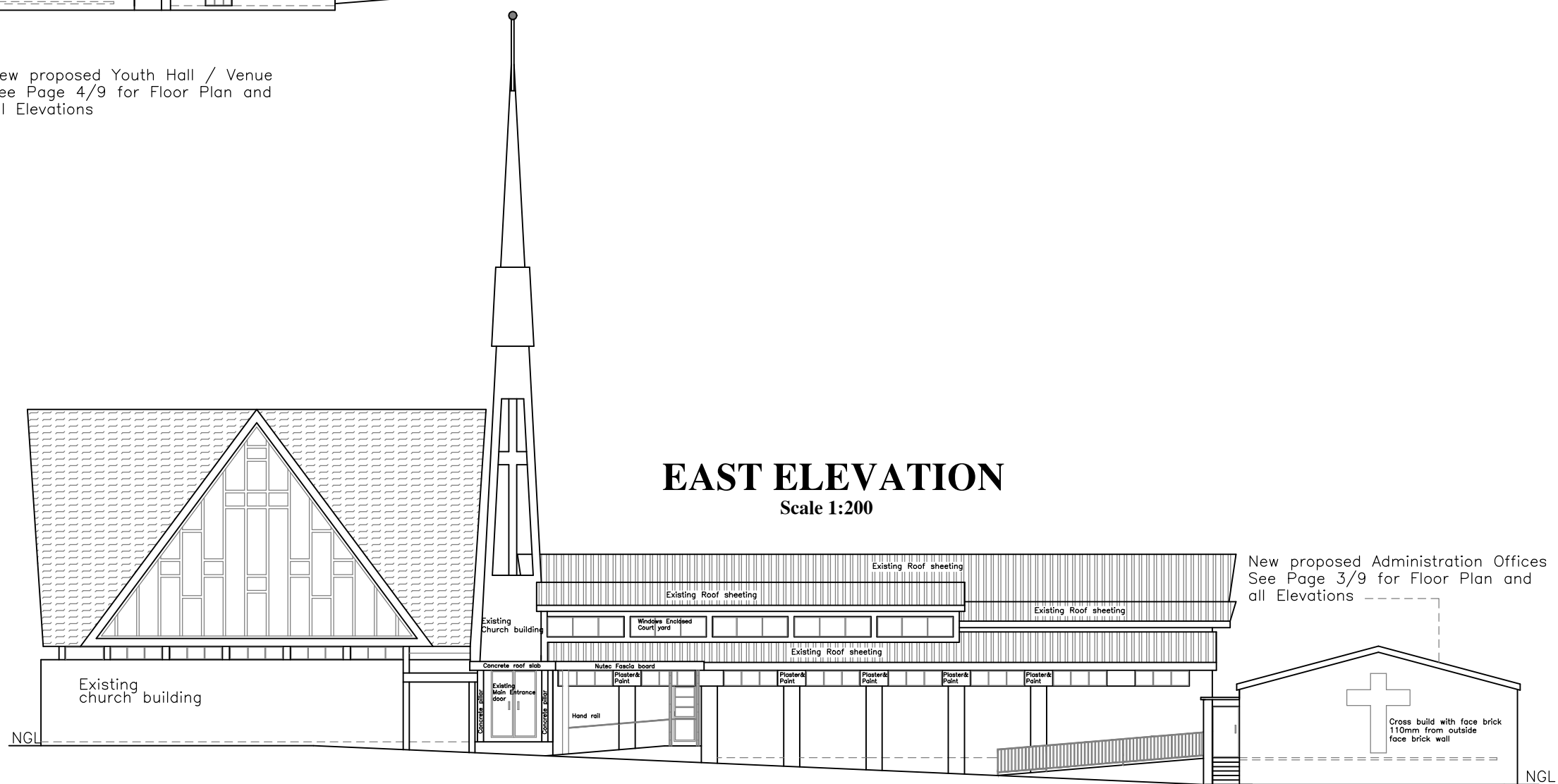
West Elevation
 Scale 1:200



New proposed Administration Offices
 See Page 3/9 for Floor Plan and
 all Elevations

New proposed Youth Hall / Venue
 See Page 4/9 for Floor Plan and
 all Elevations

EAST ELEVATION
 Scale 1:200



New proposed Administration Offices
 See Page 3/9 for Floor Plan and
 all Elevations